

YZERFONTEIN HEIGHTS DEVELOPMENT

YZERFONTEIN HEIGHTS DEVELOPMENT

ARCHITECTURAL GUIDELINES

RESIDENTIAL ZONE 1
PORTION OF FARM 560/4 , YZERFONTEIN

Introduction

The development is situated in the Yzerfontein area. Its coastal situation and views toward the sea have inspired a development rich in Contemporary West Coast and beach architecture that reflects a contemporary lifestyle and is environmentally sensitive.

The development is to remain simplistic and geometric in its design development thus outlined in this design guideline.

1. Preparation and Approval of Building plans

Building plans to be submitted to the local authorities require the development architect's stamp of approval and should be submitted for approval prior to submission to the local authority.

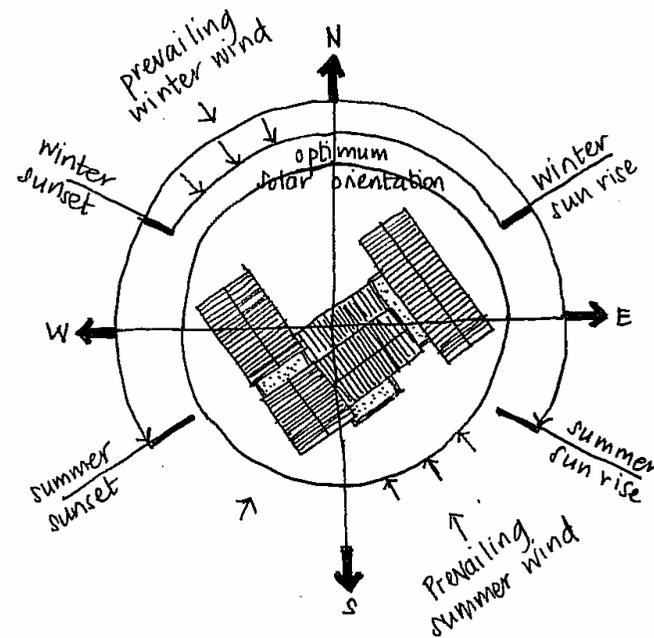
Consultants reserve the right to request changes to design layouts.

Deviations from approved plans and schedule of finishes shall not be done without prior approval at the discretion of the development architect.

2. House Orientation

All living areas of the building should be north facing.

The building should form a barrier against the prevailing summer winds.



3. Architectural Character and Guidelines

Building forms

Buildings are to be simple square or rectangular elements. The major building elements are not to exceed 6000mm in width if pitched.

Concrete roof will be allowed to connect major elements to one another.

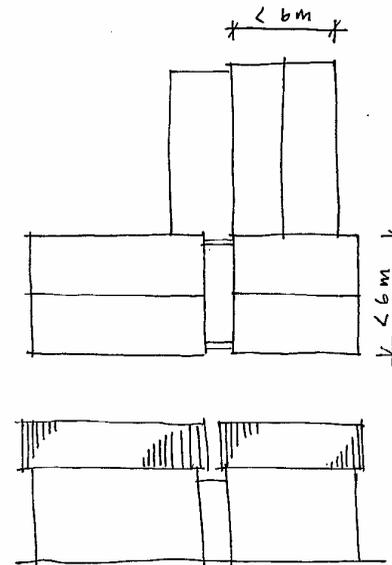
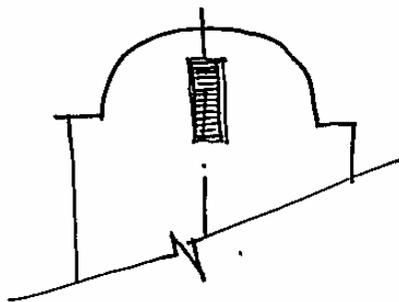
Overhangs are encouraged and shall not be more than 600mm.

No building shall have less than 90m² habitable area.

Dome shape and concrete flat roofs are allowed.

Flat steel roofs on street elevations should have a parapet wall.

Cantilevered decks and overhangs are encouraged.



Proportion and scale

The building shall be sensitive to the human scale and use of verandahs and pergola areas are encouraged. Careful consideration should be paid to the scale of the building.

The building shall be proportionally sound with all architectural elements carefully placed to create order and establish a relationship between the various building elements.

5. Architectural Elements

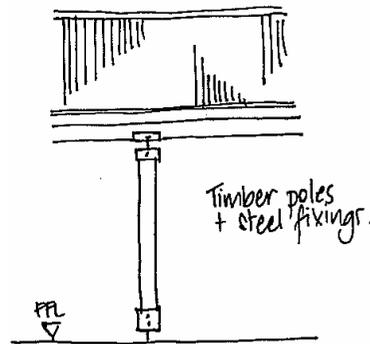
Garages and Carports

Garages are to be set back from the site boundary by 2000mm. Garages can have a 0m building between neighbouring erfes within the development.

Any garage that is situated on an edge that neighbours a different residential zone will comply with building line restrictions of that neighbouring zone.

Garage roofs are to be behind parapet walls – these walls can be straight or sloped with the roof.

No prefabricated structures will be allowed for carports.



Roofs

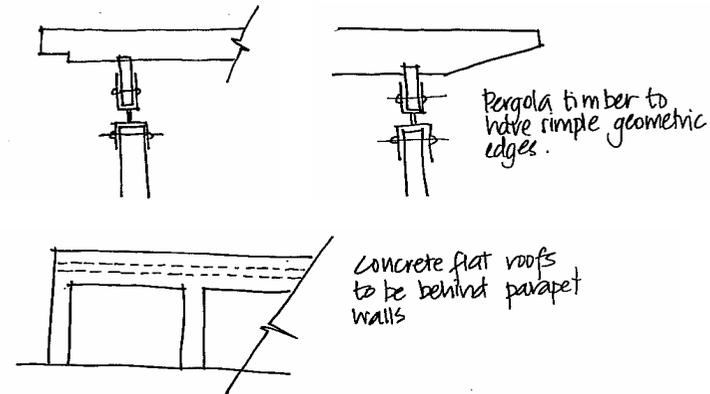
Major element roofs shall be symmetrical about their ridges. Roof overhangs shall not exceed 600mm.

Major roof pitches shall not exceed 45°.

Verandah roof pitches shall be between 0-10°.

Concrete or other flat roofs allowed.

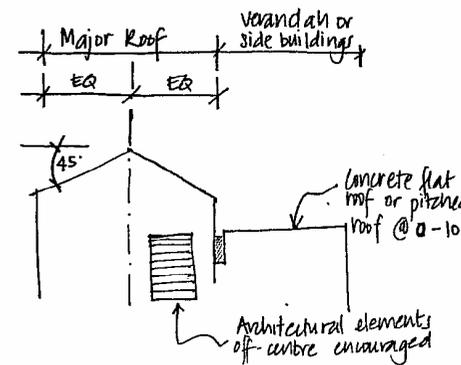
Roofs to be broken down into smaller roof structures.



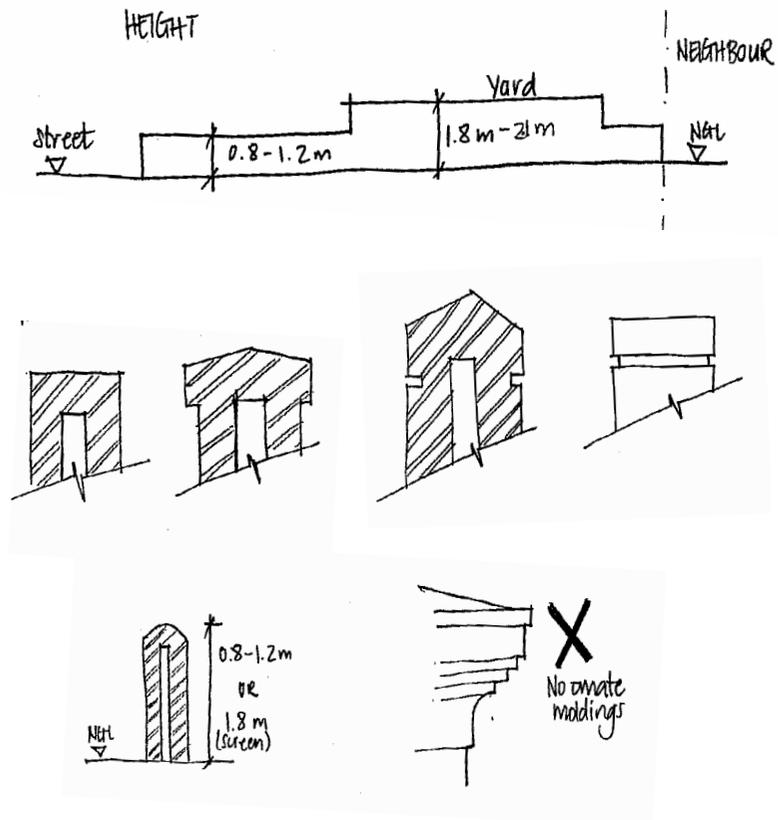
Verandahs and pergolas

Covered verandahs to be supported on timber elements – use of timber and steel columns are encouraged.

Concrete flat roofs can also be used with a balcony element above. Concrete cantilever overhangs encouraged



Pergolas to be timber or timber with latte covering.



Boundary walls

Boundary walls are to be between 800-1200mm high from natural ground level.

Where boundary walls are required to screen they shall not exceed 1800mm from natural ground level. These screening walls are to be used in yard areas.

No vibrecrete walls allowed.

Solid walls shall be plain, have rounded edges or copings to the approval of the development architect.

Moldings to be to the development architect's approval.

Excessively decorated moldings will not be allowed.

Boundary walls may be wire fencing planted to specification approved by landscape architect, planted hedges.

Timber fences as well as timber pole fencing will be allowed.

Fencing

Fencing should be visually permeable.

Permeable fencing to be coloured – grey or black – No green allowed.

No razor wire should be used.

Fencing should be screened by planting.

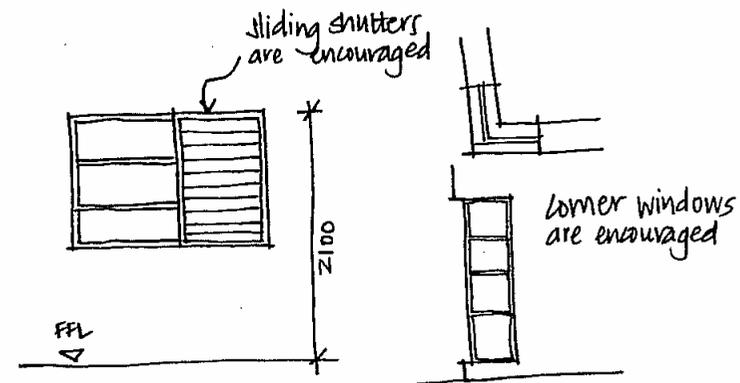
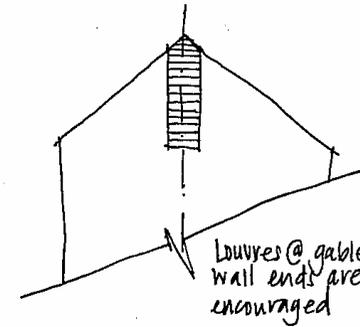
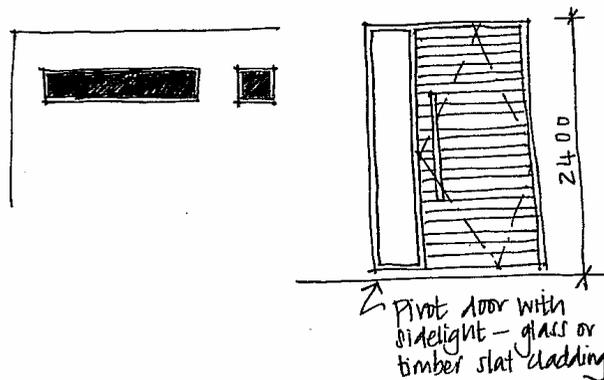
Window and door openings

Windows and doors shall be in proportion to one another.

Aluminium and timber windows and doors are encouraged
PVC windows and doors will be allowed.

Colours for frames to match chosen wall colours or to the approval of the development architect.

Where large expanses of glass are installed – glare should be avoided onto surrounding erven through setbacks or pergolas.



Shutters, Security gates and burglar bars

Shutters are encouraged – to be timber.

Sliding aluminium shutters allowed.

All security gates and burglar bars shall be simplistic and no ornate designs will be allowed.

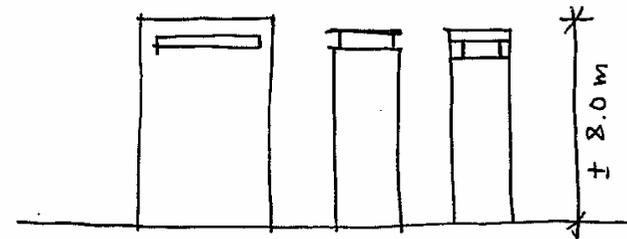
No external burglar bars allowed.

Chimneys

Chimneys will be allowed to protrude above the 8m building line.

Chimneys are to be simple geometric shapes - no ornate details.

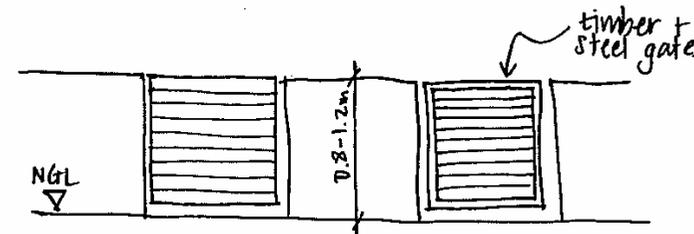
Cladding to chimneys are to be approved by the development's architect.



Pedestrian gates

Pedestrian gates are encouraged but not a requirement and shall conform to simplistic shapes.

The pedestrian gate shall be a timber element placed on the street boundary for street front consistency. Timber and steel gates are also encouraged.



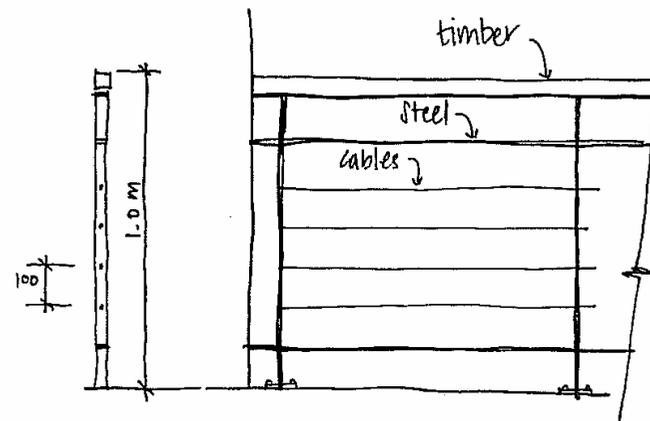
External Balustrades and handrails

To be timber or of a timber and steel combination.

Use of cables is encouraged.

No ornate designs allowed.

Glass balustrades allowed.



YZERFONTEIN HEIGHTS DEVELOPMENT

6. Finishes

External walls can be plastered or bagged or a combination of the two.

Paint Colours

To be submitted to the development architect for approval.

Accented colours for architectural elements allowed.

Earth tone colours encouraged

Roof materials

Corrugated roof sheeting is preferred – colours ranging from grey to charcoal.

Slate will be allowed.

Thatch will be allowed.

Concrete flat roof and overhangs

Metal flat roofs with parapets on street edges

Paving

Paving throughout a site should be consistent and limited to the list below:

Gravel

Natural stone

Revel stone

Timber boardwalks

Cobbles

Clay bricks

Exposed aggregate

Simplistic patterns to be used.

Materials should match the chosen wall colours.

Limited asphalt or similar surfaces allowed.

Materials

The following use of materials is encouraged:

Masonry brickwork

Clapboarding

Horizontal timber slats

Shiplap

Stone cladding

Metal cladding

7. General

Utility areas, open storage, refuse bins and washing lines shall be concealed in yard areas.

Swimming pools to be simplistic with pool pumps concealed behind feature walls

TV aerials, satellite dishes and PABX systems shall not be street facing.

Numbering and naming of properties shall conform to the developments guidelines and lettering shall not be larger than 250mm. Font type to the approval of the development architect.

External lighting shall not impose on the street and public areas and shall face downwards. No naked light source allowed.

The use of solar panel heating systems is encouraged.

The use of grey water systems is encouraged.

All designs shall comply with the National Building regulations as well as statutory requirement by the local authorities.

Tuscan, Provincial or any traditional foreign styles are discouraged.

No face brick allowed.

8. Energy and Water Saving Technology Requirements for Building Design and construction

The following points are to be taken into consideration when designing the building:

1. Energy saving requirements. (E.g. compact fluorescent lights and Lighting Emitting Diodes must be used for light wherever possible. These are cost-effective and come in different range of shapes and sizes.)
2. Energy saving recommendations. (E.g. the installation of solar heaters is relatively expensive, but result in substantial savings on electricity bills.)
3. Water saving requirements. (E.g. water saving appliances must be used in the overall design; dual-flush toilets, low-flow showerheads and tap aerators.)
4. Water saving recommendations (E.g. rainwater collection tanks be incorporated in the design. These must be placed in such way that it does not reduce the aesthetical appearance of the design.)
5. Landscaping (only basic requirements e.g. using of local indigenous plants for gardens, use of indigenous grass, exotic vegetation such as v ines, etc. will be permitted.)