

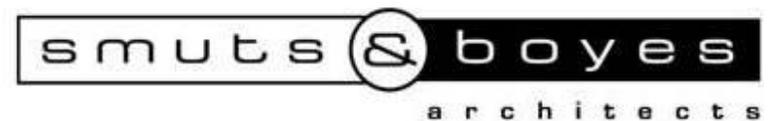
YZERFONTEIN HEIGHTS DEVELOPMENT

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ARCHITECTURAL GUIDELINES

RESIDENTIAL ZONE 2
PORTION OF FARM 560/4 , YZERFONTEIN

ARCHITECTURAL GUIDELINES



Introduction

The development is situated in the Yzerfontein area. Its coastal location and views toward the sea have inspired a development rich in West Coast architecture.

The development is to remain simplistic and geometric in its design, as outlined in this design guideline.

1. Preparation and Approval of Building plans

Building plans to be submitted to the local authorities require the development architect's stamp of approval and should be submitted for approval prior to submission to the local authority.

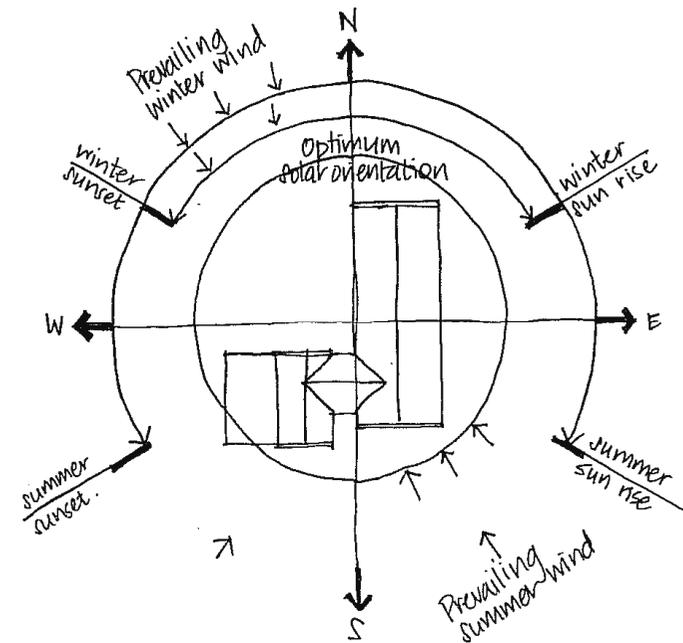
Consultants and the developer reserve the right to request changes to design layouts.

Deviations from approved plans and schedule of finishes shall not be done without prior approval at the discretion of the development architect.

2. House Orientation

All living areas of the building should preferably be north facing or optimize sea views.

The building should form a barrier against the prevailing summer winds.



3. Architectural Character and Guidelines

Building forms

Buildings are to be simple square or rectangular elements. The major building elements are not to exceed 5500mm in width.

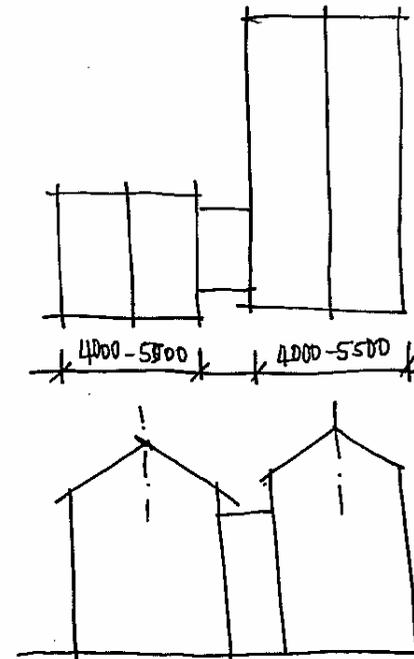
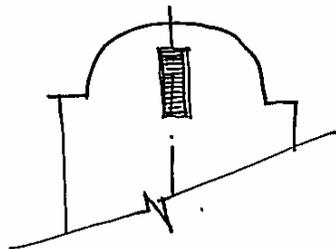
Concrete roof will be allowed to connect major elements to one another.

Gable wall ends are encouraged.

Overhangs are encouraged and shall not be more than 600mm. No building shall have less than 90m² habitable area.

Dome shape forms are allowed in keeping with traditional west coast architecture.

No plinths allowed.



Proportion and scale

The building shall be sensitive to the human scale and use of verandas and pergola areas are encouraged. Careful consideration should be paid to the scale of the building. Architectural elements should be used to break any monolithic facade.

The building shall be proportionally sound with all architectural elements carefully placed to create order and establish a relationship between the various building elements.

4. Development Controls

Coverage

Coverage of erf to be 60% with a bulk factor of 0.9

Garages and carports to be included in floor space calculations

Building lines

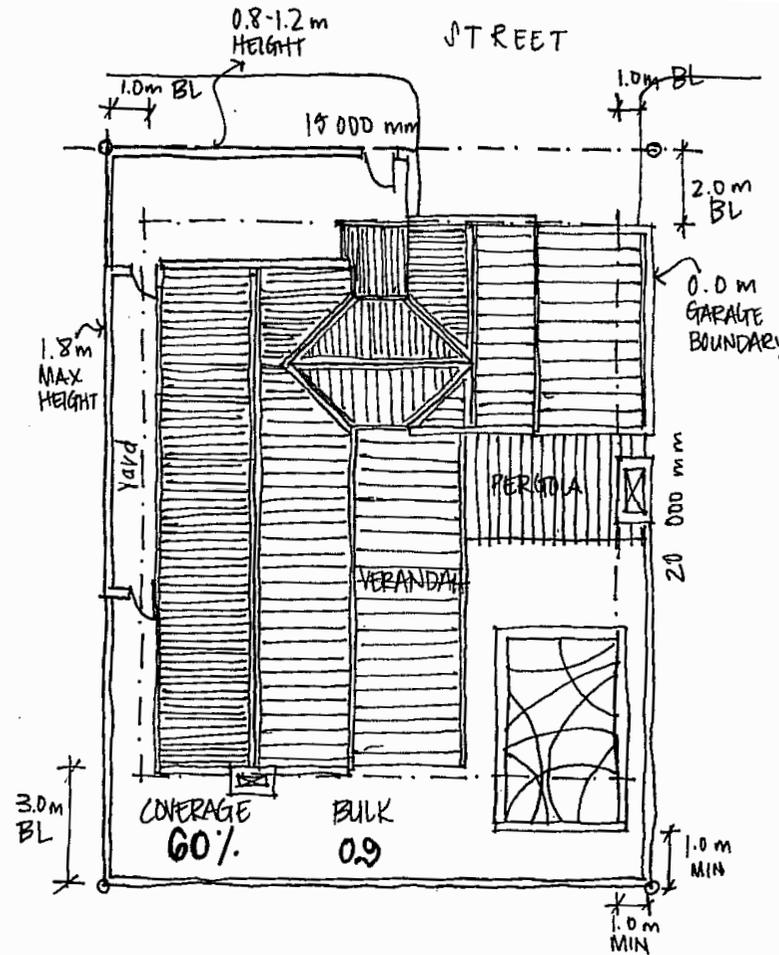
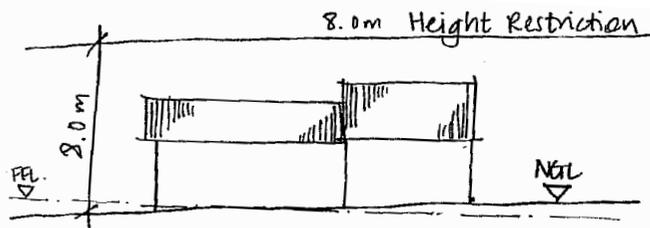
The building shall be set back 2000mm from the street boundary.

The building shall be set back 1000mm from neighbouring erven. The building shall also be set back 1000mm from open space areas.

The building shall be set back 3000mm from other residential zone areas.

Height restrictions

Buildings shall not exceed 8m in height taken from the line of the natural ground level. The building will be limited to a two storey dwelling.



Parking

At least two parking bays per erf. Garage parking space can be included in this requirement.

5. Architectural Elements

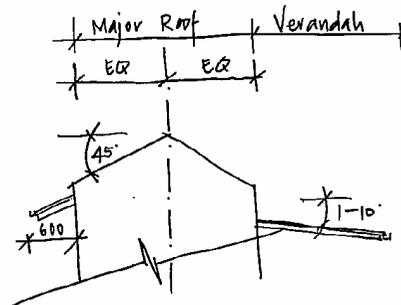
Garages and Carports

Garages are to be set back from the site boundary by 2000mm. Garages can have a 0m building between neighbouring erven within the development.

Any garage that is situated on a edge that borders a different zone will comply with building line restrictions of that neighbouring zone.

Garage roofs are to be behind parapet walls. These walls can be straight or sloped with the roof.

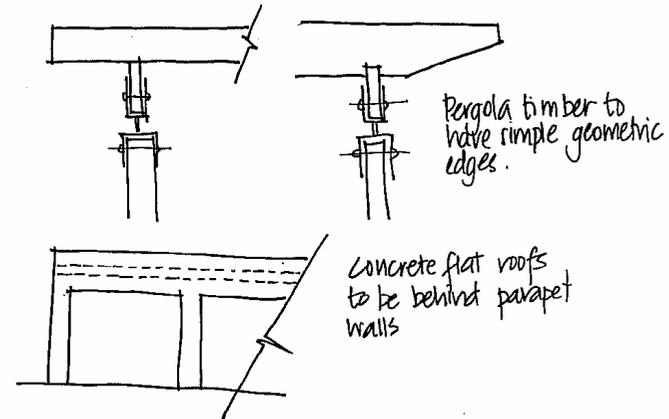
No prefabricated structures will be allowed for carports.



Roofs

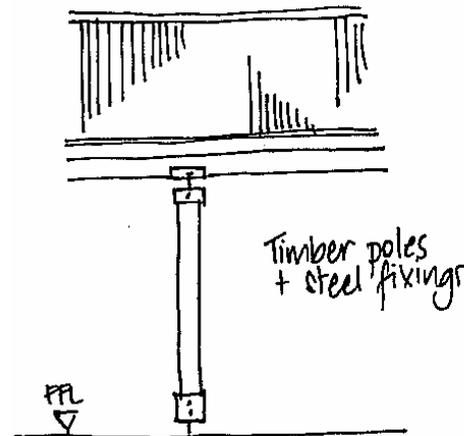
Major element roofs shall be symmetrical about their ridges. Roof overhangs shall not exceed 600mm. Major roof pitches shall not exceed 45 degrees. Verandah roof pitches shall be between 1-10degrees. Skylights are allowed.

Roofs to be broken into smaller roof structures.



Verandahs and pergolas

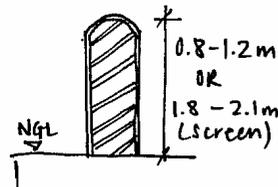
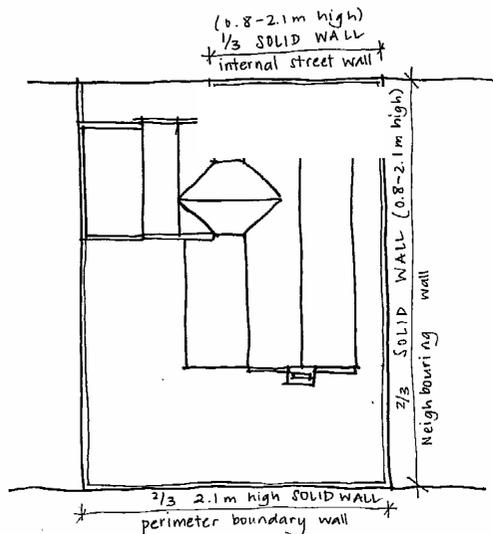
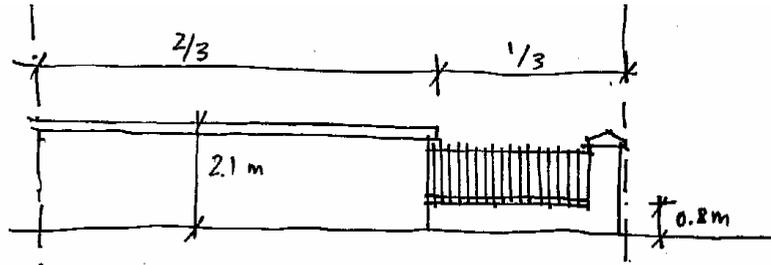
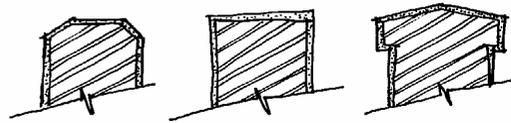
Covered verandahs to be supported on timber elements. The use of gum poles are encouraged.



Concrete flat roofs can also be used as balcony element and will have to comply with building line and overlooking feature restrictions.

Pergolas to be timber or timber with latte covering.

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Boundary walls

Boundary wall heights between 800-1200mm high from natural ground level are encouraged.

Where boundary walls are required to screen they shall not exceed 2100mm from natural ground level. These screening walls are to be used in yard areas.

2100mm High boundary walls between neighbouring properties are to consist of 2/3 brick wall with the remaining 1/3 consisting of lattice or palisade intermediate fencing.

800-1200mm High street boundary walls within the residential zone, unless screen walls to drying yards are used.

No vibracrete walls allowed.

Solid walls shall be plain, have rounded edges or copings to the approval of the development architect.

Moldings are to be approved by the development's architect.

Excessively decorated moldings will not be allowed.

Boundary walls may be wire fencing planted to specification approved by landscape architect, planted hedges.

Timber fences as well as timber pole fencing will be allowed.

The perimeter wall of residential 2 zone can be 2/3 2100mm high consisting of brick and 2100mm high palisade or lattice intermediate fencing.

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Fencing

Fencing should be visually permeable.

Permeable fencing to be coloured grey or black. No green allowed.

No razor wire should be used.

Fencing should be screened by planting.

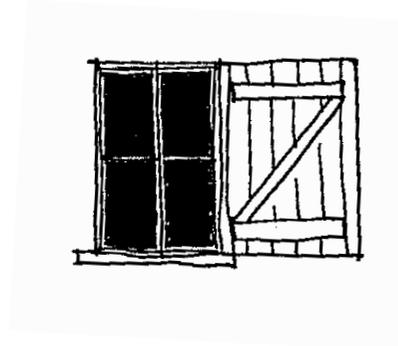
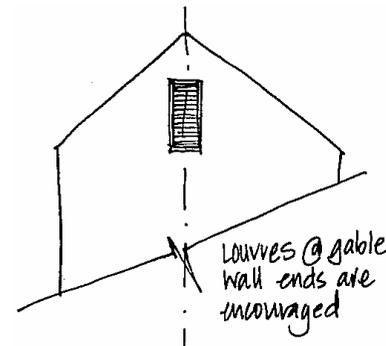
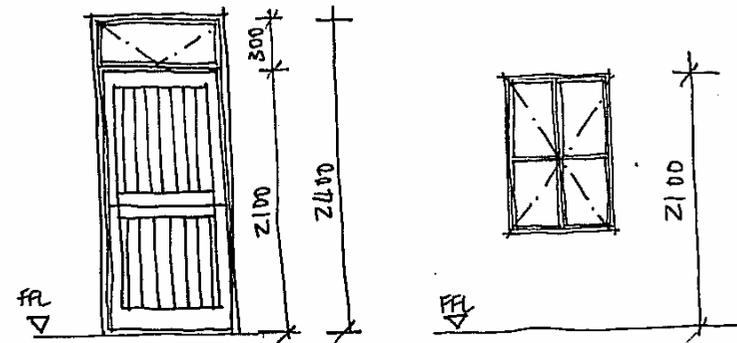
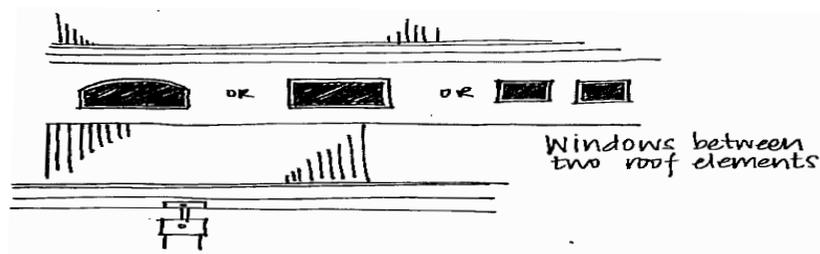
Window and door openings

Windows and doors shall be in proportion to one another.

Aluminium and timber windows and doors are encouraged PVC windows and doors will be allowed.

Colours for frames to match chosen wall colours or to the approval of the development architect. Epoxy powder coated aluminium windows are encouraged to colours matching chosen wall colour and to the approval of the development architect.

Where large expanses of glass are installed, glare should be avoided onto surrounding even through setbacks or pergolas.



Shutters, Security gates and burglar bars

Shutters are encouraged to be timber or aluminum.

All security gates and burglar bars shall be simplistic and no ornate designs will be allowed.

No external burglar bars allowed.

No ornate burglar bars allowed.

Chimneys

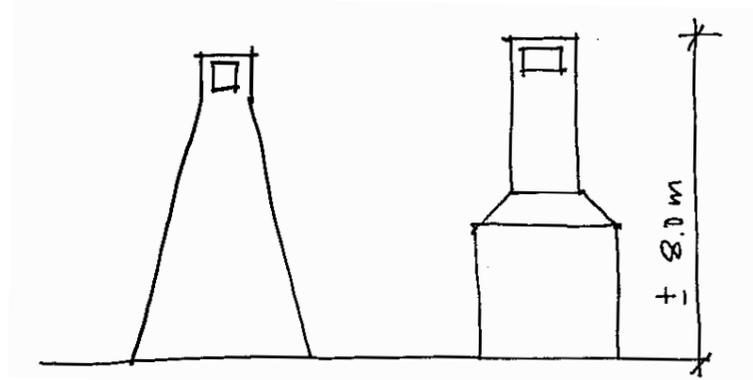
Chimneys will be allowed to protrude above the 8m building line.

Chimneys are to be simple geometric shapes. No ornate details.

Cladding to chimneys, are to be approved by the development's architect. Cladding is to be a natural material (no fake stone etc).

Clapboarding will be allowed.

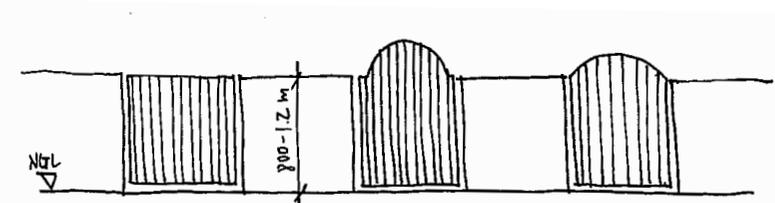
Cowls are permitted provided the design is approved by the development architect.



Pedestrian gates

Pedestrian gates are encouraged but not a requirement and shall conform to simplistic shapes.

The pedestrian gate shall be a timber element placed on the street boundary for street front consistency.

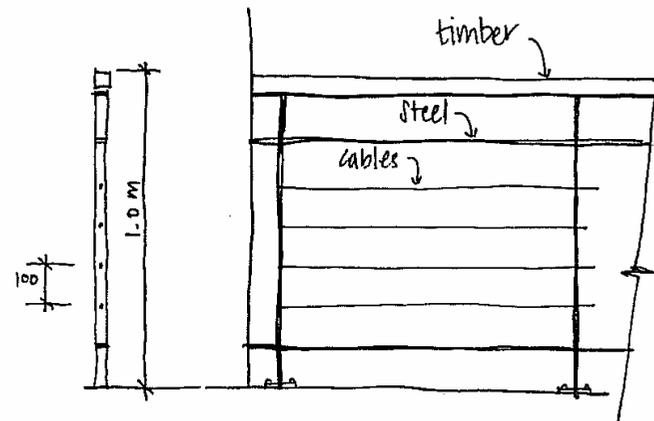


External Balustrades and handrails

To be made of timber or a timber and steel combination.

Use of cables are encouraged.

No ornate designs will be allowed.



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6. Finishes

External walls can be plastered or bagged or a combination of the two.

Rounded edges to wall corners are encouraged where wall corners are struck off and plastered to a minimum radius of 20mm.

Paint Colours

To be submitted to the development architect for approval. Pastel colours will only be allowed to accent architectural elements, but the majority of the house will not be allowed to be painted in a pastel color.

Roof materials

Corrugated roof sheeting is preferred, with colours ranging from grey to charcoal.

Black slate will be allowed.

Red or Spanish type roof tiles are discouraged.

Paving

Paving throughout a site should be consistent and limited to the list below:

- Wash Gravel
- Natural stone
- Revel stone
- Timber boardwalks
- Cobbles
- Clay bricks
- Exposed aggregate

Simplistic patterns to be used. Materials should match the chosen wall colors. Limited asphalt or similar surfaces allowed.

7. General

Utility areas, open storage, refuse bins and washing lines shall be concealed in yard areas.

Swimming pools to be simplistic with pool pumps concealed behind feature walls

TV aerials, satellite dishes and PABX systems shall not be street facing.

Numbering and naming of properties shall conform to the developments guidelines and lettering shall not be larger than 150mm. Font type to the approval of the development architect.

External lighting shall not impose on the street and public areas and shall face downwards. No naked light source allowed

The use of solar panel heating systems is encouraged.

The use of grey water systems is encouraged.

All designs shall comply with the National Building regulations as well as statutory requirement by the local authorities.

No facebrick allowed.

8. Paint colours :

Wall Colours :

Buildings will not be permitted to be painted more than one colour from the list below. There will be no two tone colour combinations allowed. All walls (houses and boundary walls) are to be the same colour.

The following are Midas colours (however a Plascon similar will be allowed) :

- Almost There
- Slightly white
- Magic Mushroom
- Water mark
- Hazy Mornings
- Sepia
- Flaking Paint
- Bleached Wash Table
- Dandelion
- Cracked Plank
- Peace and Quiet

Roof and Fascia colours:

Roof and fascia colours to be shades ranging between grey and charcoal - for approval by the development architect.

Window and shutter colours :

Colours are for the approval of the development's architect. Colours are to be in keeping with the chosen wall colour of the house.

9. Energy and Water Saving Technology Requirements for Building Design and construction

The following points are to be taken into consideration when designing the building:

1. Energy saving requirements. (E.g. compact fluorescent lights and Lighting Emitting Diodes must be used for light wherever possible. These are cost-effective and come in different range of shapes and sizes.)
2. Energy saving recommendations. (E.g. the installation of solar heaters is relatively expensive, but result in substantial savings on electricity bills.)
3. Water saving requirements. (E.g. water saving appliances must be used in the overall design; dual-flush toilets, low-flow showerheads and tap aerators.)
4. Water saving recommendations (E.g. rainwater collection tanks be incorporated in the design. These must be placed in such way that it does not reduce the aesthetical appearance of the design.)
5. Landscaping (only basic requirements e.g. using of local indigenous plants for gardens, use of indigenous grass, exotic vegetation such as Vines, etc. will be permitted.)